

DATE August 13, 2026

AUTHORED BY CAMERON SALISBURY, PLANNER II, CURRENT PLANNING

SUBJECT **DEVELOPMENT PERMIT APPLICATION NO. DP1388 – 4319 and 4321 BOBAN DRIVE**



Proposal:
Addition to an existing industrial building

Zoning:
I2 – Light Industrial

City Plan Land Use Designation:
Industrial

Development Permit Area:
DPA8 – Form & Character

Lot Area:
2,471m²

DP



OVERVIEW

Purpose of Report

To present for delegated approval, a development permit application for an addition to an existing industrial building at 4319 and 4321 Boban Drive.

Recommendation

That Development Permit No. DP1407 be issued for a proposed addition to an existing industrial building at 4319 and 4321 Boban Drive.

BACKGROUND

A development permit application, DP1388 was received from 2K Architecture Inc., on behalf of 1091772 B.C. LTD., for an addition to an existing automotive repair building at 4319 and 4321 Boban Drive.

Subject Property & Site Context

The subject property is located in the Boban Drive industrial area between Mostar Road and Jingle Pot Road, approximately 125m east of the intersection of Mostar Road and Jingle Pot Road. The property currently contains two existing industrial buildings and related site improvements. The surrounding area consists of a mix of industrial, commercial, and residential uses with limited amenities.

DISCUSSION

Proposed Development

The applicant proposes to consolidate and expand the existing floor area (694.9m²) of the Supertech Auto Group truck repair operation, including the addition of 5 service bays (15 in total), a modified parking layout, new public-facing reception and lounge area, accessory office spaces, and staff amenities. The proposed gross floor area including the addition is 985.1m². There is no maximum FAR in the I2 zone, but development in this zone is regulated by the maximum lot coverage, maximum building height, and minimum building setbacks.

Site Design

The proposed addition is located on the north side of the building (#4319) adjacent to Boban Drive. The site layout is designed to maximize surface parking, on-site maneuvering, and operational efficiency. In order to accommodate the future road cross section of Boban Drive, as an Industrial Collector, a 2.5m wide statutory right-of-way will be secured as a condition of the development permit.

All of the required vehicle parking (19 spaces, including 1 accessible space) is proposed on the north side of the building and in front of the existing office building. The parking rates reflect the Off-Street Parking Regulations Bylaw 2018 No. 7266, which was applicable at the time of application review. One long-term bicycle parking space is required and will be provided within the

existing building. No short-term bicycle parking spaces are required. Two loading spaces are required, however, the applicant is requesting a variance to provide only one loading space.

Building Design

The proposed building design presents a contemporary industrial character that complies with the applicable Form and Character Design Guidelines by avoiding blank wall conditions along Boban Drive and incorporating a well-defined, visually prominent main entrance. The façade improvements integrate the addition with the north, west, and east elevations of the existing building. No exterior changes are proposed on the south elevation of the existing building.

The north-facing elevation includes a distinctive entrance canopy that provides a strong wayfinding feature, weather protection, and a focal point at the street-facing corner. Windows and glazed entry elements are provided at the reception/waiting area and mezzanine office to increase transparency, introduce natural light, and create visual breaks in the façade. The elevation is further animated through varied cladding materials, colourful façade accents, and vertical architectural elements that add contrast, rhythm, and depth. Together, these elements define the entrance, support accessible pedestrian access, and provide façade articulation and visual interest appropriate to the industrial context.

Landscape Design

The landscape design, prepared by Harry Haggard Landscape Architect, is intended to create a more attractive street frontage along Boban Drive through a mix of trees and shrubs, while preserving existing trees where possible. An outdoor waste management area is proposed near the site entrance but will be screened with enclosure fencing and landscaping. Exterior and site lighting will be designed to support safety and security, highlight architectural features, and provide illumination at the main entrance and parking areas. Lighting will conform with dark sky principles and guidelines by being directed downward and carefully positioned to minimize light pollution, preserve the night sky, and reduce impacts on the surrounding area.

Design Advisory Panel

Given the scope of the Development Permit for a minor addition to an existing industrial building, the application was not referred to the Design Advisory Panel. Staff consider the application to be consistent with the applicable Form and Character Design Guidelines.

Proposed Variances

Minimum Required Side Yard Setback

The applicant is requesting a variance to reduce the minimum required side yard setback (east side) from 6.0m to 3.3m, a variance of 2.7m. This variance would recognize the non-conforming setback for an existing building to be retained. The I2 zone permits a 0m side yard setback on one side where a minimum 6m setback is provided on the other side. The existing building and addition exceed the 0m setback on the west side (setback 1.829m), and the proposed addition

exceeds the 6m setback on the east side (setback approximately 18.42m), so the variance would only apply to the existing portion of the building (setback 3.332m). Staff support the variance to allow the existing non-conforming setback as this does not impact the existing site condition adjacent to other industrial uses.

Minimum Required Loading Spaces

The applicant is requesting a variance to reduce the minimum number of required loading spaces from 2 to 1. The applicant has indicated that one loading space is sufficient to accommodate deliveries without negatively impacting traffic flow or site operations. Staff support the proposed variance and note that the site currently operates with a single designated loading area. |

SUMMARY POINTS

- Development Permit application No. DP1388 is for an addition to an existing automotive repair building at 4319 and 4321 Boban Drive.
- The proposed expansion and site design present an industrial character that meets the applicable design guidelines and complements the surrounding industrial area.
- Staff support the proposed development permit and associated variances.

ATTACHMENTS

ATTACHMENT A: Permit Terms and Conditions
ATTACHMENT B: Subject Property Map
ATTACHMENT C: Site Plan and Parking Plan
ATTACHMENT D: Building Elevations and Details
ATTACHMENT E: Perspective Views
ATTACHMENT F: Landscape Plan and Details |

ATTACHMENT A

PERMIT TERMS AND CONDITIONS

PERMIT TERMS

The “City of Nanaimo Zoning Bylaw 2011 No. 4500” is varied as follows:

1. *Section 13.4.1 Siting of Buildings* – to reduce the minimum required east side yard setback for the existing principal building from 6.0m to 3.3m, as shown on Attachment C.

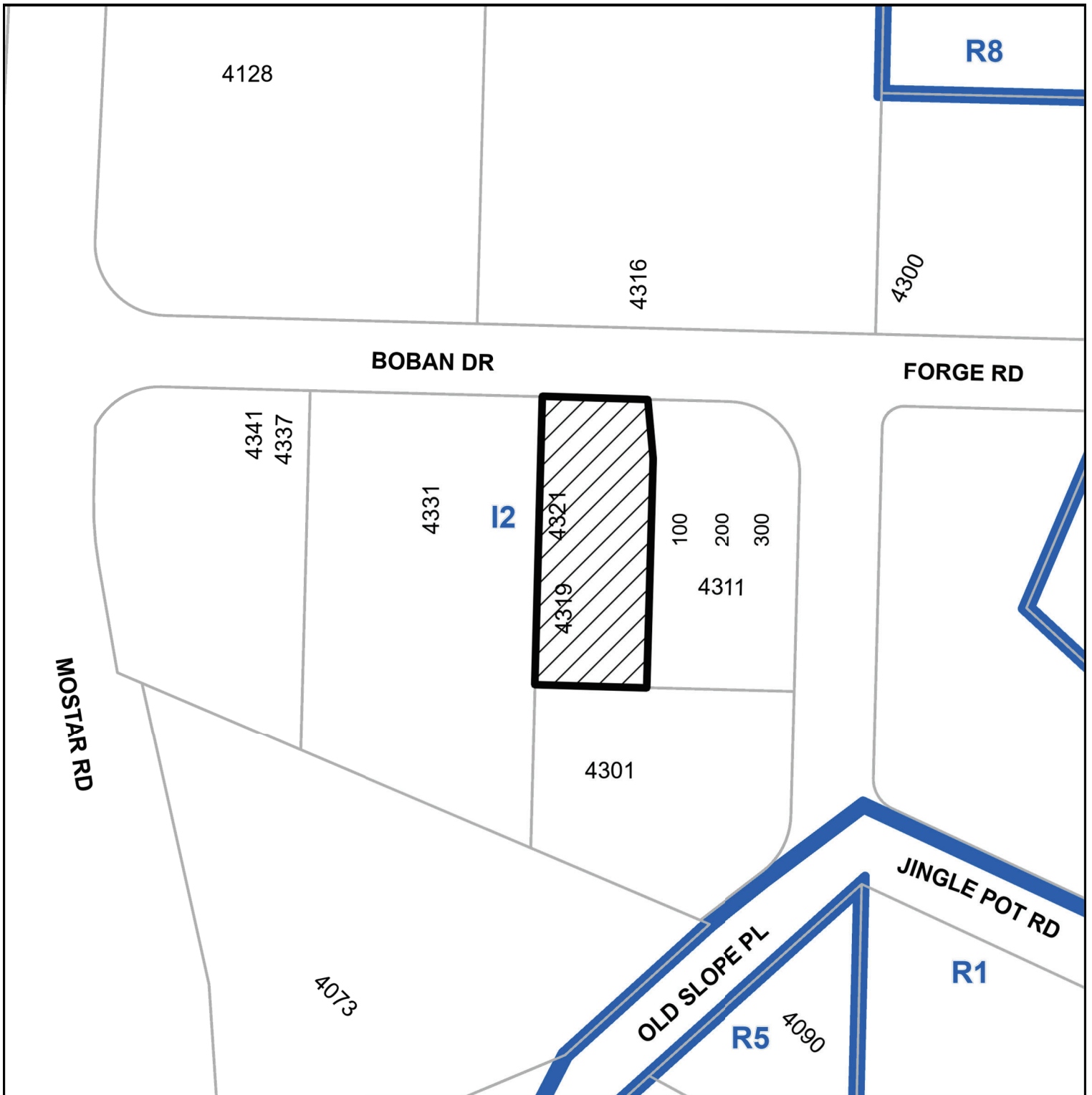
The “City of Nanaimo Off-Street Parking Regulations Bylaw 2018 No. 7266” is varied as follows:

1. *Section 6.1 Required Number of Loading Spaces* – to reduce the minimum required number of loading spaces from 2 to 1.

CONDITIONS OF PERMIT

1. The subject property shall be developed in accordance with the Site and Parking Plan prepared by 2KArchitecture, dated 2026-AUG-07, as shown on Attachment C.
2. The subject property shall be developed in substantial compliance with the Building Elevations and Details, prepared by 2KArchitecture, dated 2026-JUL-08, as shown on Attachment D.
3. The subject property shall be developed in substantial compliance with the Landscape Plans and Details prepared by Harry Haggard Landscape Architect, dated 2026-AUG-10, as shown on Attachment E.
4. Registration of a statutory right-of-way adjacent to Boban Drive with an approximate width of 2.5m to facilitate a future road cross section for an Industrial Collector designed and constructed in accordance with IC-XS1 of the City of Nanaimo Manual of Engineering Standards and Specifications within a 25.0m wide road allowance, prior to building permit issuance.

ATTACHMENT B
SUBJECT PROPERTY MAP



 4319 & 4321 BOBAN DRIVE

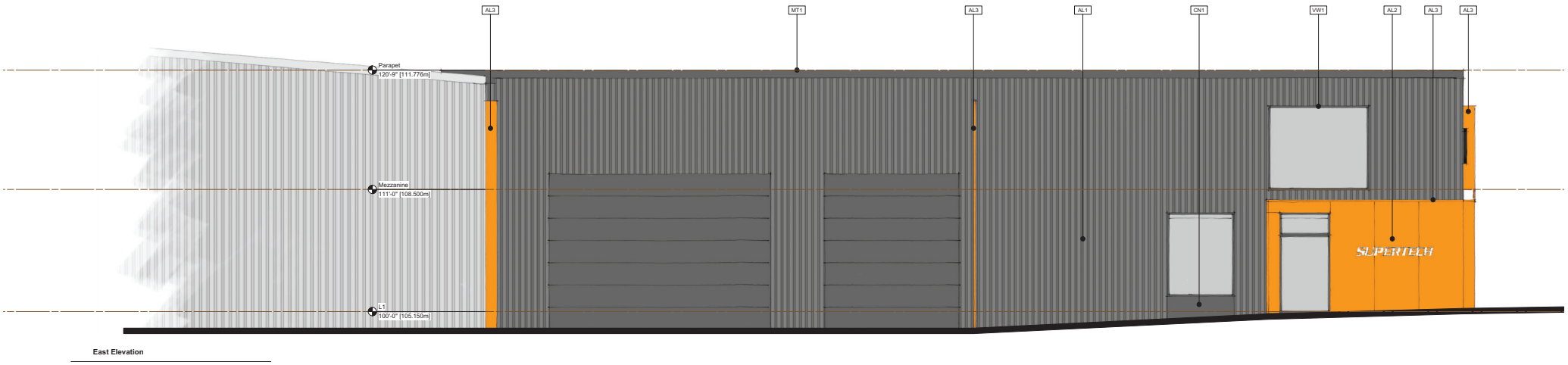
Proposed Setback Variance to 3.3m



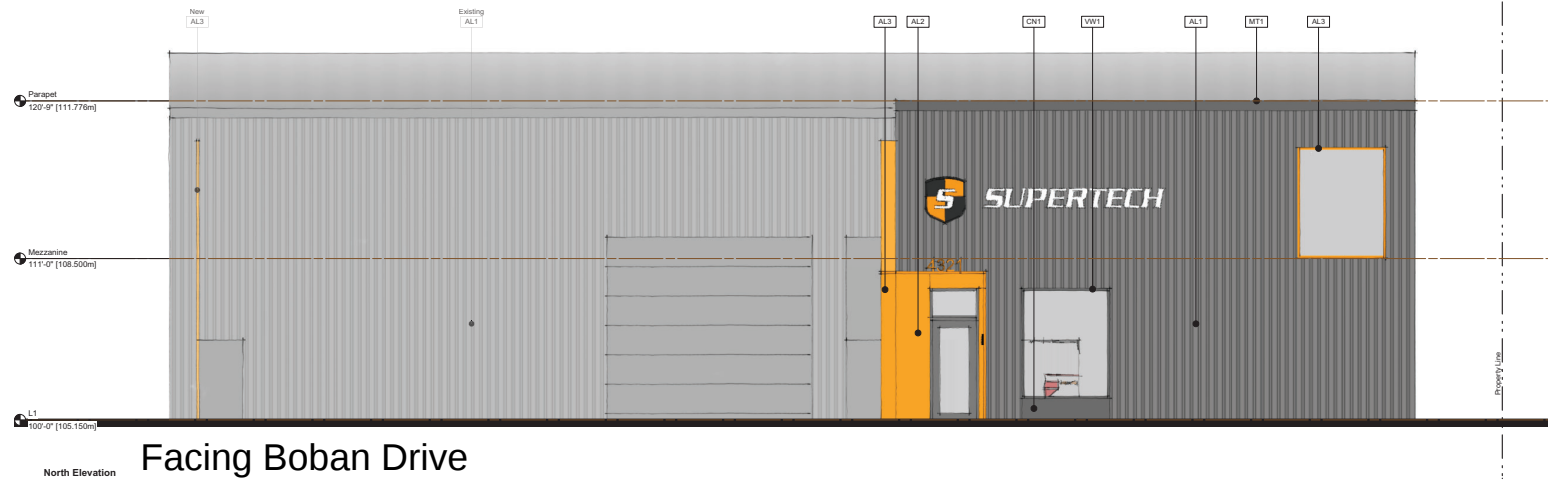
A1.0

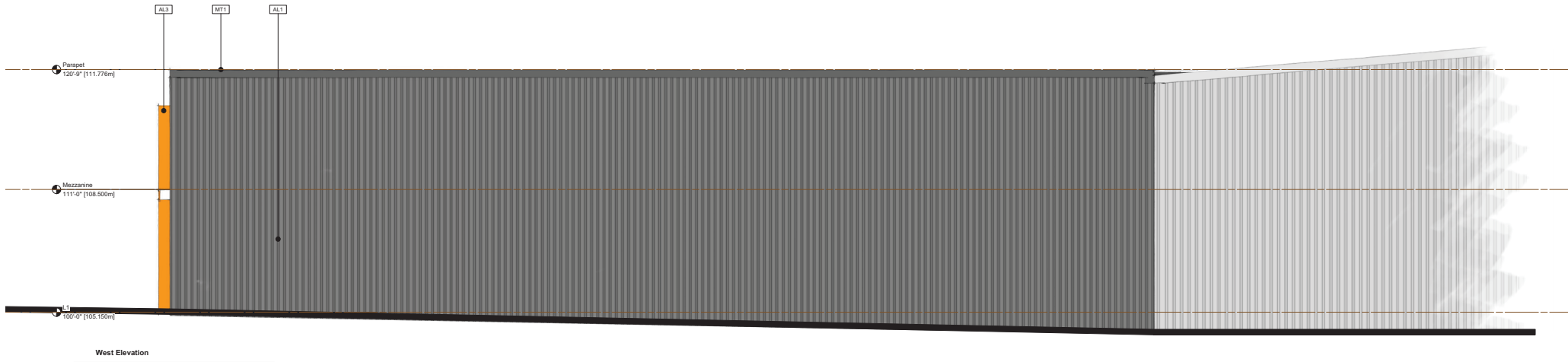
RECEIVED
DP1388
2026-AUG-07
Current Planning

ATTACHMENT D BUILDING ELEVATIONS AND DETAILS



- MATERIAL LEGEND:**
- CWT Dark Grey Stained Concrete
 - MT1 Metal Plating (Grey, 12") (Match Existing)
 - AL1 Standing Seam Aluminum Panels - Light Grey - Horizontal (Match Existing)
 - AL2 Aluminum Composite Panel - Orange Brown (Match AL3)
 - AL3 Aluminum Plating - Orange Brown (Match AL3, 26 Gauge)
 - VW1 Vinyl Window/Door (Black Frame)





ATTACHMENT E PERSPECTIVE VIEWS

Page 1 of 3



2K Architecture

PROJECT
Supertech

CLIENT
Supertech Auto Group
ADDRESS
4321 Boban Dr, Nanaimo, BC V9T 5V9

PROJECT NO.
2407



SCALE
N/A
ISSUE
08 JUL 2026

Perspective
Bird's Eye View

A0.1

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DP1388
2026-JUL-09
Current Planning





ATTACHMENT F LANDSCAPE PLAN AND DETAILS

6' High Metal Fence Garbage Enclosure
Grey to match existing Standing Seam Aluminum Panels

WRITTEN SPECIFICATIONS

1. ALL WORK, INSTALLATION, MATERIALS, ETC. TO BE PER B.C.S.A. AND B.C.A. STANDARDS & SPECIFICATIONS.
2. ADD GOOD FRIABLE TOPSOIL (MAXIMUM 4% CLAY AND MAXIMUM 4% PEAT/SAND) TO DEPTHS AS LISTED: LAWN=6", GROUNDCOVER=12", SHRUBS=18" & TREES=24" - 36" DEPTHS.
3. ALL TREES AND SHRUBS ON MOUND SLOPE TO HAVE A 6" HIGH EARTH WATERING DISH.
4. POSITIVE DRAINAGE THROUGHOUT THE SITE TO BE PROVIDED BY A LANDSCAPE CONTRACTOR AFTER PLANTING AND LAWN INSTALLATION (ALL EXISTING TREES LEFT AT NATURAL GRADE WITH POSITIVE DRAINAGE).
5. AFTER ALL PLANTING ADD MIN 2" FIR BARK MULCH (SALT FREE) THROUGHOUT AND ROAD FINISH GRADES.
6. FIR BARK MULCH FINISH GRADES THROUGHOUT TO BE 1" BELOW TOP OF ASPHALT AND ROAD FINISH GRADES.
7. PLANT INSPECTIONS UPON REQUEST BY LANDSCAPE CONTRACTOR TO INCLUDE AS A MIN. OF THREE TO BE:

- (A) PLANT INSPECTION AT TIME OF PLANT ARRIVAL
- (B) INTERIM SITE INSPECTIONS
- (C) FINAL SITE INSPECTION AFTER LAST PLANT IN PLACE AND FIR BARK MULCH IN PLACE.
8. ONE-YEAR PLANT GUARANTEE TO BEGIN AFTER LAST PLANT IN PLACE AND THE FINAL INSPECTION HAS BEEN CARRIED OUT AND REPORTED BY THIS OFFICE.
9. A THIRTY (30) DAY MAINTENANCE OF PLANTS TO INCLUDE PRUNING, WATERING, ETC. SAID 30 - DAY MAINTENANCE TO BEGIN AFTER ITEM 7-C ABOVE.
10. THE WRITTEN SPECIFICATIONS (8 1/2" x 12") FORM AN INTEGRAL PART OF THESE DRAWINGS.
11. ALL DIMENSIONS, LOCATIONS, GRADES, ETC. ARE APPROXIMATE AND ARE TO BE VERIFIED ON-SITE PRIOR TO BEGINNING BY THE RESPECTIVE CONTRACTORS.
12. THE GREATER NUMBER OF PLANT QUANTITIES WHETHER ON THE PLAN OR ON THE PLANT LIST IS THE NUMBER FOR WHICH THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR.

[END]

NOTE:
PLANTS ADDED
TO RIVER STONE BED,
3 WHITE WANDER POK WOOD TREES (VOW)
AND
1 DWARF PENDULA
SEQUOIA (GFGQ)

*4 REVISE SURFACE PARKING
AND FRONTAGE PAVEMENT
AND ADD PLANTS AS SHOWN
NOTE: ADD 2" DEPTH
FIRE RETARDANT
MULCH UNDER SIGN
AND THRU-OUT NEWLY
PLANTED AREAS

NOTE: 3. EXISTING
FLOWERING CHERRY TREES
8-6" AND 1-4" AT
12 TO 14' HEIGHT TO
STAY AS IS.

NOTE: EXISTING
UNDERGROUND
SERVICES.

NOTE: 6. DECIDUOUS (BX)
TREES SET IN RIVER STONE
SOME TREES DAMAGED
THRU BREAKAGE OF
SAME PER GOOD HORTICULTURAL
PRACTICES, PRUNE SHARP AND
BROKEN LIMBS AS DIRECTED.

ITEM	SYMBOL	QUANTITY	IDENTIFYING LABEL	COLOR CODE	SIZE	COND.	SPACINGS
TREES	(WV)	TWO	CORING EDED WHITE BENDER	WHITE BENDER DOGGWOOD	8"	SHD	RANDOM
	(WV)	FOUR	WANDER POK WOOD	CREAM/FLORID UNIQUE	8"	CONTAINER	36" x 4" OC
	(VOW)	ONE	SEQUOIA	DWARF PENDULA	12"	CONTAINER	36" x 4" OC
	(GFGQ)	12	WANDER POK WOOD	CREAM/FLORID UNIQUE	8"	CONTAINER	36" x 4" OC
	(BX)	12	WANDER POK WOOD	CREAM/FLORID UNIQUE	8"	CONTAINER	36" x 4" OC
	(BX)	25	WANDER POK WOOD	CREAM/FLORID UNIQUE	8"	CONTAINER	36" x 4" OC



LANDSCAPE: PLANTING PLAN WITH
PLANT LIST AND WRITTEN SPECIFICATIONS

HARRY HAGGARD
LANDSCAPE ARCHITECT #42
LINE 11250 951
LINE 9943
300 BARRIE AVE. EAST
PARKVILLE BC V9P 1M5

REVISIONS - MAY 5/2023 #1 TO #4

#1 - ADD BIKE RACK
#2 - NEW CONCRETE
#3 - REMOVE 5 BOXWOOD
#4 - SURFACE
PARKING
AND FRONTAGE

SCALE
1/8"=1'0"
ISSUE
10 Aug 2026

Mezzanine Floor Plan
RECEIVED
DP1388
2026-AUG-10
Current Planning

L1.1